

Pioneer Ranch

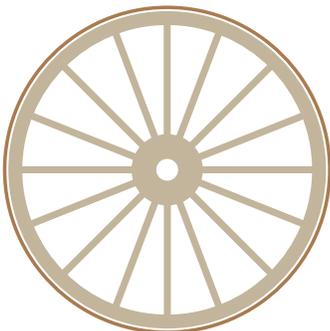


Development Design Guidelines

November 24, 2015

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PREFACE

Design criteria in the form of principles and guidelines are fundamental ideas to guide planning and design decisions by providing direction as to how the vision for the project may be achieved. Design criteria will guide designers through the process of creating a quality community while keeping with the project theme and character. While the criteria focuses on achieving a consistent vision, they also are flexible and encourage design creativity.

Collectively these guidelines will ensure that the design of all homes and improvements preserve and enhance the natural landscape and also establish a common unified design style throughout the community. It is not the purpose of these guidelines to create similar architecture or to suggest that they all have identical colors and materials, but to create a harmonious architecture and landscape environment which is compatible with, and complimentary to, the existing landscape. No particular home should stand apart in its design or construction so as to detract from the overall environment and appearance of Pioneer Ranch.

The underlying goal for the design and development of Pioneer Ranch is quality. A great deal of time and thought for planning the location for the clubhouse, roads, home sites, and other improvements articulated in the site plan. The reason for this extensive effort was to establish a high level of quality throughout the community. This quality will be devoted to the design and construction of the individual homes, amenities and overall community.

The Pioneer Ranch Review Board (PRRB) plays a key role in the design process. The PRRB should be regarded as a partner in the design process with the owner and their design team. Owners and their design team should plan on spending time with members of the PRRB to become familiar with the communities design style and specific elements of these guidelines. Becoming familiar with these and other considerations early on will ensure a smooth review process for owners and the PRRB.

These Guidelines should assist builders, contractors and designers with the following objectives:

- Establish clearly defined design guidelines for buildings and improvements;
- Preserve, enhance, and restore the existing natural environment;
- Encourage a characteristic style of architectural and landscape design that conveys the Pioneer Ranch design style;
- Ensure the construction of a high quality and environmentally sensitive parks and open space;
- Protect each owner's investment in their home by requiring all builders and home owners to comply with the same high standards for design and construction.



Section 1 - Overall Community Character

The “Overall Community Character” describes the experiences resident and guests have as they move through the development. The existing site characteristics include rocky outcroppings along the north sloping down into a mature pine forest which drains to the west into rolling grasslands, creating an environmental transition through the community. Preserving and engaging trails, views, nodes and parks provide opportunities in the present and future for all users to enjoy the community.

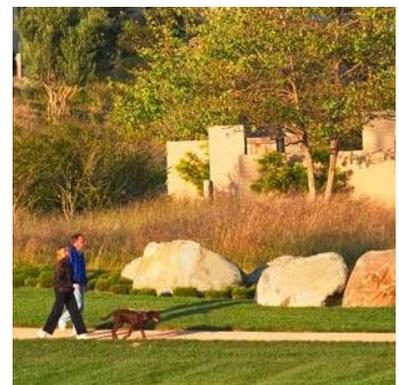
1-1 Design Philosophy & Style

The overriding vision for Pioneer Ranch is to create a truly unique residential community set within the grandeur of the Rocky Mountain Front Range. The philosophy for Pioneer Ranch involves three fairly simple concepts:

- Buildings and site improvements integrated with the landscape in a manner that preserves and enhances to the greatest extent possible, the natural characteristics of each home site;
- The design of buildings and landscape will suggest a pallet of materials and architectural styles that over time will establish the desired design style, while still allowing for diversity;
- Through identity and accessibility, Pioneer Ranch will establish a true sense of belonging through site planning and pedestrian activities where neighbors meet and feel part of the community.

This philosophy has been shaped by a respect for the site’s natural environment and the desire to create a truly unique community centered on exceptional natural open space.

Pioneer Ranch’s natural setting offers spectacular views, diverse vegetation, and varied terrain. Extensive environmental analysis of soils, geology, slopes, vegetation, wildlife and visual considerations were completed during the planning of the community. The findings of these analyses provide parameters for how homes, roads, and other improvements should be placed within this setting. A fundamental goal is for all buildings and improvements to be set within the landscape in a manner that will preserve and enhance this delicate environment. The design goal for this project is to retain the ‘essence of the landscape’.



Inherent in the community's design philosophy is the concept of creating a place that shares a common design style and establishes a unifying element throughout the community. No structure should stand apart such that it detracts from the natural characteristics of the site or from other buildings or improvements. This is not to suggest, however, that all buildings must look alike or use identical building materials or colors. The characteristics of home sites throughout the property should vary and as such, appropriate design solutions will also vary. However, proposed landscape and architecture will share the same fundamental design characteristics.

Pioneer Ranch is designed as a series of defined neighborhoods adjacent to parks and natural open space. The quantity of homes is limited with a maximum total unit count in order to create a scaled neighborhood atmosphere and foster a sense of community that is often not found in larger communities. Pioneer Ranch is more than just a master planned development; it is a community composed of residents that share the common interest of enjoying the outdoors and the Colorado Rocky Mountain Front Range.



Section 2 - Overall Community Design

Because a variety of architectural designs are permitted, it is necessary that the overall community approach be kept consistent in order to maintain overall visual continuity throughout the project. Through consideration, design will preserve, enhance, and restore the existing natural environment; while ensuring the construction of a high quality and environmentally sensitive parks, open space and community.

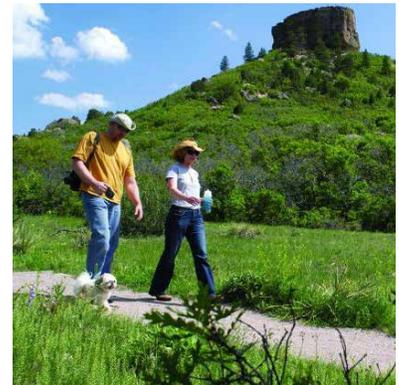
2-1 Site Planning

Site planning is a critical element of successfully integrating buildings and improvements with the natural landscape and terrain. Grading and tree removal should be limited to what is reasonably necessary for the construction of a home.

A well prepared site plan must be created in concert with architectural design and in doing will respond to building siting and orientation, views, grading, access, and other design issues. A creative site plan will find a balance between preserving and enhancing the natural features of the site while at the same time addressing the design objectives of the builder/home owner.

It is important that the location and design of proposed structures relate to the existing terrain. The design process must take into account grade changes, location of trees, rock formations, and orientation of the proposed improvements to sun, wind and views. Privacy and the impact on adjacent neighbors, nearby rights-of-way and common areas should be considered both in site planning and in designing the architectural elements of a structure. Trees, natural vegetation and all other site features should be incorporated and utilized to enhance the overall appearance of the streetscape and architecture. Since the plant species permitted for revegetation is limited, every method to preserve existing landscaping must be employed.

Site drainage should be carefully considered. Natural water courses and drainage ditches should be preserved and proposed development should set back from these natural features. Existing vegetation should be left undisturbed except where proposed improvements are unavailable and required by local code.



2-2 Fences

An underlying goal for Pioneer Ranch is to create a sense of openness throughout the community. For this reason, the introduction of landscape walls and fences is limited to establishing privacy around outdoor spaces immediately adjacent to the home, providing an edge between formal landscaped areas and the native landscape area, and creating outdoor spaces such as courtyards. Smaller lots and building clusters and home sites with envelopes should be located in part to minimize the need for retaining walls. However, when necessary, retaining walls and fences should comply with the following guidelines.

Fences and walls should be decorative and contribute to the visual quality of the project and the overall development. When possible, fencing should be as inconspicuous as possible and walls should be low. Fencing and walls should be constructed of materials that are compatible with the adjacent building architecture and complement their appearance.

i. Single Family/Low Density

The design of privacy fences should be integrated with the design of the residences. Modifications to the overall styles of fencing should be considered on a case by case basis by the Pioneer Ranch Review Board. Privacy fences that integrate with the architecture and meet the guidelines will be allowed in order to create private areas on the lot. Front yard fences are discouraged.

Five foot tall privacy fencing is allowed to be installed by the homeowner to enclose a patio, swimming pool, hot tub, deck area or similar feature. Privacy fencing may not encroach into the side yard setback.

Fencing adjacent to open space corridors and parks should be limited exclusively to horizontal three rail wood open fence. Standard 3-Rail fence 4' tall (with optional 4"x4" welded wire pet mesh on the interior of the fence) should be proposed in this application. Solid privacy fencing along open space corridors should be allowed only in unique circumstance and where determined warranted by the homeowners request at the approval of the Pioneer Ranch Review Board.



ii. Single Family Medium Density & Mixed Use (Residential)

Stone or brick walls with a stone or cast cap, decorative metal, cast or wrought iron fences, stucco walls and stone piers are likewise encouraged where applicable in front and rear yards. In front yards, within these residential development, fences shall be no taller than 42” in height. Chain link, barbed wire or electrically charged fences are prohibited within the community. Fences and or walls located within sight triangles should be no more than 36 inches high and should be situated to not impede vehicular visibility at intersections

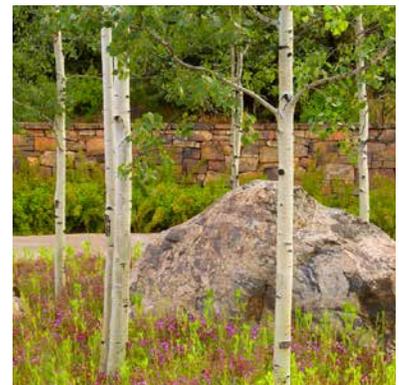
Privacy fences shall only be used in the rear yards, should not exceed 6’ in height, and should be constructed of materials consistent with materials used on the main residence. A 1.5’ clear story is encouraged and overall the fence should have architectural interest. Fencing adjacent to open space corridors and parks should be limited exclusively to horizontal three rail wood open fence. Standard 3-Rail fence 4’ tall with 4”x4” welded wire pet mesh on the interior of the fence should be proposed in this application. Solid privacy fencing along open space corridors should be allowed only in unique circumstance and where determined warranted by the homeowners request at the approval of the Pioneer Ranch Review Board.

iii. Mixed Use (Commercial)

Walls, fences, and landscape materials should be used to screen service areas, loading areas, and outdoor storage areas. When not required for security, screening, or grade transitions, the size of walls and fences should be minimized.

Wood fences should be treated for longevity due to climate conditions. Masonry walls should be stained or faced with masonry or stone, or with a scored and textured surface. Chain-link fencing with or without wood slating is discouraged as a screening material.

Fence or wall runs greater than 80 linear feet should be articulated with architectural offsets and incorporate landscape pockets. Where taller retaining walls are required, provide safety protection in the form of railings, fences or hedges, or create a terrace with two (2) shorter walls. Construct walls and fences from durable materials such as stone, brick or metal with darker finishes (wrought iron or similar), or a combination of these materials.



2-3 Parking:

Each development site should be required to demonstrate it has met its minimum parking requirements pursuant to the use it's accommodating. Each commercial parcel shall satisfy the Parking Standards set forth by the Town of Castle Rock and be designed in a manner that compliments the unique demands of the land use proposed. Shared parking between adjacent businesses and or developments is encouraged where practical.

Parking lots are encouraged to provide a well-defined pedestrian circulation system within the site in order to minimize conflicts between vehicles and pedestrians. Protected pedestrian walkways should directly link to entrances and the internal circulation of the building(s). Large parking areas should be broken up into smaller areas and provide pedestrian connectivity through the use of landscape medians and sidewalks.

Parking lot landscaping shall be incorporated within the site in an effort to screen parked cars, break up parking areas and drive aisles from building structures. Landscaping should meet or compliment the overall community character. Trees, shrubs and ground covers should be used in islands to break up large expanses of paving and provide shade. Water efficient landscaping is to be used.

2-4 Site Utilities:

Site utilities should be coordinated with the size and location of the provided services. All utilities should comply with the Town of Castle Rock and other agency requirements. All roof top and at-grade mechanical equipment, electrical equipment, trash compactors and trash bins should be screened by parapet walls or architecturally integrated into the building or site layout. Trash storage areas, mechanical equipment and similar areas should not be visible or screened from the street. Loading docks should be screened so as not to be visible from the street, and should not be accessed directly from the street.

2-5 Grading:

Developments should be designed to be sensitive to the existing grade. Buildings should be designed to take up grade transitions. Where this cannot occur, stepped retaining walls with landscaping should be used.



All retaining walls should be constructed of interlocking pavers, stone or stone veneer consistent with stone used on the home or with stone used on retaining walls along roadways located adjacent to the site. Retaining walls should not exceed 4' in height when possible. Retaining cuts greater than 4' should require the use of stepped walls and should be designed to allow for the introduction of landscape materials between walls. In certain cases the PRRB may approve retaining walls in excess of 4' when it is demonstrated that higher walls will result in a more sensitive design solution.

When feasible, retaining walls should be designed as an architectural extension of the residence in order to visually tie the building to the ground. All finish grades should provide positive drainage to the storm water system. Finish grades should comply with ADA and all Town of Castle Rock requirements.

Site walls should be allowed under the following conditions:

- Wall location and anchorage systems should be coordinated with all underground utilities and should not impact or restrict the use of the landlord's common area.
- Walls should not impact an adjacent site or create a hardship for development of adjacent land.
- Walls should be designed and sealed by a professional engineer licensed in the state of Colorado.

2-6 Pedestrian Connections and Amenities:

Each residential development should provide pedestrian access throughout the site by linking to adjacent sidewalks, pathways, or transit stops when appropriate unless grade changes are prohibitive. To increase access to the diverse trail system, access points should be made between lots should be made every 1/4 mile from the perimeter of the neighborhood to the internal circulation when possible. In some cases these trails will pass through lots, but they will not be constructed within a lot or building envelope and be an access easement maintained by the owners association. As part of the site planning for each property, connecting trails from lots to common trails may be developed by the property owner. These trails may be stabilized crusher fines, concrete or left as naturalistic. Trail material should be consistent with adjacent trail systems.



Pedestrian and bicycle routes should be designed to invite and encourage walking throughout the entire project in a comprehensive and consistent manner, providing access to all public areas and safe separation from vehicular traffic. Each proposed neighborhood should have a direct pedestrian connection to the street or pedestrian corridor it faces. Where appropriate, each site should provide connections to adjacent buildings, pedestrian activity areas, street crossings, open spaces, plazas, building entrances, drop-off points and other pedestrian systems.

Pedestrian pathways that interface with vehicular movements should be identified in a suitable manner to alert both pedestrians and drivers of potential conflicts. Such identifiable elements should include accent or colored pavement or suitable pavement markings, signage, grade separations, bollards, median refuge areas, traffic slowing features, lighting or other appropriate means of distinction.

- Buildings, which are placed immediately adjacent to the sidewalk, should promote visibility and pedestrian orientation with plazas, outside dining or other pedestrian areas.
- Integration of raised planters or potted plants is encouraged
- Use of site furnishings such as benches, tables, chairs, and fabric umbrellas is encouraged.

2-7 Community Landscape

i. Overall Landscaping

Due to the prevalent character of the existing ponderosa pines, every reasonable effort should be made to design around the trees for these circumstances before removing them. Design should blend or complement the existing terrain and utilize indigenous, historically adaptable, low maintenance, turf, plants and trees described in this section. Overtime the restoration and enhancement of all areas surrounding individual home sites will establish a common natural landscape feature that will visually link the Pioneer Ranch community and the adjacent open space.

The native landscape area is generally defined as all portions of a home site located outside of the building envelope in the Single Family Low Density areas, or many of the common and open space areas. In addition to providing a natural buffer between home sites, one of the primary purposes of the native landscape area is



to establish a common natural landscape element and promote wildlife movement corridors throughout the community. These natural features and the parks/Public Land Dedications will provide the dominant landscape features of the community.

All improvements in these areas should be designed and constructed to minimize the disturbance of the native landscape area. The native landscape area of some home sites must be disturbed in order to facilitate the construction of roads, utilities, and trails. In such cases, landscape improvements should restore disturbed areas to a more natural condition using native plant materials.

ii. Native Landscape Areas

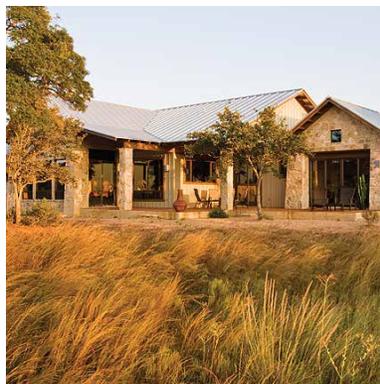
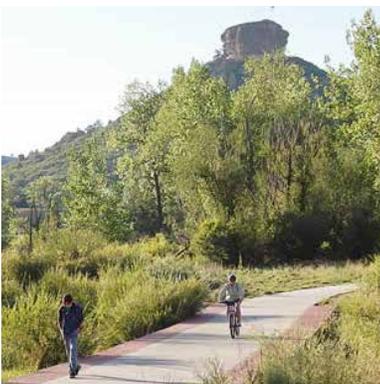
While the specific treatment of the native landscape area will vary depending on the characteristics of each home site, the goal of every landscape plan should be to restore and enhance the native landscape area whenever possible. In order to achieve this goal, using plant materials indigenous to Front Range Colorado that are capable of survival on natural precipitation are encouraged.

All portions of the native landscape area disturbed by construction should be revegetated using seed mixes listed in the Town of Castle Rocks approved native seed mixes found in the Town's Landscape and Irrigation Performance Standards and Criteria Manual. Restoration areas should include both revegetation and the introduction of shrubs and trees. Dead and diseased trees which threaten the health of the nearby trees should be removed.

Temporary irrigation may be required for some or all landscape improvements. Temporary systems in native areas are desired, but should be designed to be abandoned after one year, or after plant materials have been established.

iii. Character:

Landscaping should support the nature of inhabited areas, with plant materials augmenting the character of the street or open space.



In addition, landscaping should follow these principles:

- Plant for 3 to 5 layers in height where possible (large trees, understory trees, shrubs, herbaceous plants, grass)
- Preserve mature native trees and landscape as much as possible
- Use trees which provide shade, color and variety to the streetscape
- Avoid the use of tall shrubs adjacent to high pedestrian traffic areas for security reasons
- Use diverse species in order to avoid decimation in case of disease affecting one species
- Introduce pergolas with climbing vines wherever large trees for shade are not possible
- Use an automated watering system throughout residential and commercial landscaped areas

iv. Landscaping inside the Building Envelope

Landscaping within the building envelope may include the use of permanent irrigation and shade to create “micro-climates” that will support a wide variety of plant materials. As such, ornamental plants, planting beds, gardens, and other formal landscape designs may be introduced within the building envelope or adjacent to the home when an envelope has not been designated.

Landscaping within smaller lots should be designed in order to define outdoor spaces and entries, frame desirable views, screen undesirable views, buffer prevailing winds, provide seasonal shade, and add color and interest to courtyards and other outdoor spaces. Consideration should also be given to the size, color and texture of plant materials. Recommended plant materials can be found in the Town’s Landscape and Irrigation Performance Standards and Criteria Manual.

In larger lot applications ornamental plants and other formal plant materials should be located immediately adjacent to the home in courtyards, entries, or other defined spaces not immediately visible from adjacent lots or roadways. The transition between formal landscape areas within the building envelope and the native landscape area should be accomplished with a defined edge that clearly contains the formal landscape improvements. A defined edge may be established with the use of patio walls, retaining walls, stone edging, or planting beds.



The use of fescue or other low water consumption grasses for manicured lawns is recommended in lieu of water intensive grasses such as Kentucky Bluegrass. Permanent underground irrigation systems that include moisture sensors, drip irrigation, and pop-up heads that conserve water are encouraged. Backflow preventers are required and manual valves are prohibited.

v. Open Space Edge

The following landscape standards apply to homesites adjacent to the open space areas. The introduction of all plant materials on home sites adjacent to the open space areas may be subject to the approval of the PRRB. The native landscape area of each home site should interface with the rough or natural landscape area, of the natural open space to create a uniform edge treatment. Upon the completion of landscape improvements, the property line between the open spaces should blend and individual lots should not be discernible.

Consideration should be given to clustering plant materials to create a natural landscape transition between the home site and the open space area. The use of mature landscape materials along this edge that exceed the Town's minimum size requirement is encouraged.

vi. Water Use:

Drought tolerant plant species that are native to the region or suitable to this climate should be used. Designs must utilize water conservation including the concepts in xeriscaping. Turf should be restricted to active areas and used as accents for water conservation and character. Deciduous trees should similarly be limited to be used as accents or for shade.

vii. Plant Material Specifications:

Plantings must adhere to the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual and the City Approved Plant list. Plants not on the list can be used with approval from the Design Review Board and the Town of Castle Rock during landscape plan review. Plant calipers, heights, container sizes and installation specifications should conform to the American Association of Nurserymen and the Colorado



Nursery Act Rules and Regulation Standards. Minimum planting/ installation sizes of plant material should conform to Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual.

Mulches: Rock Mulch are required per the following specifications:

- Rock mulch: 2” - 6” dia. multi-color river rock cobble to a minimum depth of 2”.

Acceptable locations for mulch types: Tree saucers in turf areas should be wood mulch. Shrub Beds are permitted to have wood mulch. Cedar mulch should be a fibrous material capable of matting together and interlocking when moistened and settled. Tree wood mulch rings should be 3-4’ in diameter, wood mulch rings around shrubs should be 1½ the size of the rootball.

Building foundations may have a 3-4’ wide border of specified rock mulch if not next to hardscape. Geo Textile Fabric (Install and maintain in accordance with manufacturer’s specifications): Dewitt pro-5 weed barrier fabric (or approved equal) under all rock mulch shrub beds shall be used. No landscape fabric should be used in wood mulch.

viii. Landscape Maintenance:

Landscape maintenance is the responsibility of the individual lot owner/ developer unless otherwise set forth in development agreements, purchase agreement, declarations, or any other agreements. Landscape maintenance should consist of all regular and normal maintenance practices of landscaping including weeding, irrigation, fertilizing, pruning and mowing. Plant materials that exhibit significant levels of insects, pests, diseases and/or damage should be appropriately treated by the individual lot owner/developer. All dead plant materials should be removed and replaced immediately by owner/developer with living plant materials that match the ACC approved landscape plans.

2-8 Energy Efficient Design:

Buildings in Pioneer Ranch should aspire to the quality of the United States Green Building Council’s Leadership in Energy and Environmental Design (LEED) Rating System. LEED is the nationally accepted benchmark for the design, construction, and operation of high performance green buildings. Actual certification is optional.



LEED for New Construction (LEED-NC) is organized around six primary categories. These are:

1. Sustainable Sites
2. Water Efficiency
3. Energy and Atmosphere
4. Materials and Resources
5. Indoor Air Quality
6. Innovation and Design

See the LEED Reference Guide and the website: www.usgbc for requirement details and resources.

A number of LEED pilot programs may also serve as useful references for individual components of the development. These include LEED for Neighborhood Design, LEED Retail, LEED Core & Shell, LEED for Commercial Interiors and LEED for Homes. Please see the guidelines for these pilot programs.

Homes in Pioneer Ranch are required to meet or exceed existing building code requirements. Pioneer Ranch encourages the use of appropriate passive energy technologies and the utilization of products made from recycled materials. Passive and active solar applications are encouraged and should be integrated into the overall design of the building. Components should not appear as after thoughts or add-ons to the structure. Fireplaces and wood burning stoves must conform to current State of Colorado and EPA standards.



Section 3 – Single Family/Low Density

Below the iconic bluffs to the north, the “Single Family/Low Density” is spread along varying degrees of sloped terrain amongst a mature pine forest. The design intention is to reduce natural disturbance from excessive pavement, hardscape and density. Through flexible product in larger lots, this opportunity provides beautiful views of the Front Range nestled in mature vegetation for high end custom/semi-custom homes.

The intent is to embrace the sites natural features with a design approach that ensures high quality residential construction, utilizing beautiful vistas and existing vegetation on site while minimizing disturbance through flexible and low impact development. Development and building construction should be especially responsive to features of the existing terrain, drainage patterns, rock outcroppings, vegetation, views, and sun exposure.

3-1 Siting the Buildings & Envelopes

A well-prepared site plan must be developed in concert with architecture design. Buildings and associated vertical improvements should be sited to blend with the natural landscape and should not dominate existing site characteristics. Buildings should be designed as an integral element of existing terrain and vegetation; buildings and improvements should be located and designed to minimize site grading and the loss of trees and other vegetation. Homes on sloping lots should be designed to step with existing contours.

Building envelopes should be established for the large residential home sites at Pioneer Ranch. All portions of a home, including all garages, decks, patios, terraces, pools, retaining walls, site walls and similar features should be located within the building envelope. Building envelopes should be determined based on overall planning and design objectives for the project and the site-specific characteristics of each lot. The intent is to define building envelopes that allow the design of a home to maximize views and solar orientation, establish separation between homes, preserve existing vegetation and optimize other site attributes.

3-2 Architecture:

The essence of the architectural style for Pioneer Ranch is for buildings to express the design features typically found in the image and spirit of buildings of the Homestead West. Rather than replicating the buildings of the early American West, the intent of these guidelines is for buildings to draw their inspiration from the design features that characterize this style. An important element of Pioneer Ranch’s design style is for buildings to



blend with their site and the surrounding area. Over time the style of architecture and the manner in which buildings and improvements are integrated with their surroundings will establish a truly unique sense of place and distinguish Pioneer Ranch from other communities.

i. Building Massing

Building massing should emphasize horizontal scale and form. Building scale should be reinforced by varied building heights, offsets in building elevations, well-proportioned fenestration, decks and balconies and architectural detailing. Low-level one- to two-story building mass is encouraged. Buildings should be designed as a composition of additive forms; large structures and continuous unbroken building forms should be avoided.

To respond to site characteristics, consideration should be given to home sites designed as a composition of smaller building forms clustered around outdoor spaces such as courtyards, porches, or verandas. Building forms should step with the existing natural contours of the site and be designed to nestle into existing terrain. Buildings must comply with building height limits and other regulations as defined by the Town Of Castle Rocks design Standards and Guidelines and Ridge Line Ordinance.

ii. Roofs

Roofs will be a prominent visual element of homes at Pioneer Ranch. This is particularly true given the visibility of home sites from the open space and the rolling terrain that characterizes much of the community. In order to ensure visual coherence throughout the community, roofs should be comprised of relatively simple forms and should utilize similar materials and colors that integrate the building with the site and surrounding area.

Large continuous roof planes should be avoided, while smaller segmented roof forms consistent with the additive form of the home, or a composition of primary and secondary roof forms should be used. Primary roof forms should be limited to low-pitched gable, shed, or double-pitch roofs in the range of 5:12 to 8:12. Dormers and other architectural roof features could have a maximum pitch at 12:12. Modern forms and roof accents may accompany these guidelines with materials that complement their forms.

iii. Siding

Western red cedar, stone, redwood, pine, or spruce, or cementous composite and stucco, should be used as the predominant siding material.



Siding may be shiplap, tongue and groove, or board and batt and should be 6” to 12” in width. Any home with exterior walls comprised exclusively of stone should include exposed timbers or logs to express roof, porch or other ancillary framing. Composite siding is allowed and must be followed with other accents. Use of the Plastic or highly reflective metal, Exposed cinder block, Plywood, T-111 or other hardboard materials should not be used a primary exterior siding:

iv. Windows & Doors

Windows and doors introduce openings and relief to exterior walls and in doing so reinforces building scale. Properly detailed, windows and doors also present an opportunity to add interest and individual character to buildings.

Openings should be located to optimize view opportunities and be designed in proportion to the overall structure and form of the residence. Windows provide an opportunity to reinforce human. When larger “view” windows are used, partially divided light windows are encouraged. The use of colored, reflective or mirrored glass is discouraged.

3-3 Lighting

All exterior lighting should comply with the Town of Castle Rocks Night Sky Ordinance. Appropriate uses of exterior lighting include low-level/ low voltage landscape lighting to define walkways, patios or other outdoor features immediately surrounding a home.

In order to reduce glare and provide general ambient light, all light sources should be concealed within the building or light fixture. No exterior lighting in which the direct source is visible from a neighboring property or which produces excessive glare to pedestrian or vehicular traffic should be permitted. All exterior lighting should be designed to minimize impacts on adjacent properties and, with the exception of entry/identification bollard lighting, should be located within the building envelope.



Section 4 - Single Family Medium Density

The “Single Family- Medium Density” is located primarily along the western side of the property adjacent to neighboring communities with other Single Family product. This proposed density aims to retain the character of the land by locating it on less intense slopes minimizing grading during development. By providing several neighborhoods of medium density, the diversity of pricing and product makes the development more accessible to a wider range of residents, while clustering density to ultimately preserve more open space.

The intent is to provide quality product economically feasible to different socio economic demographics while proposing moderate density for development that is set amongst existing vegetation and rolling topography. The proposed Pioneer Ranch single-family attached and detached guidelines intend to steer the creation of a residential community that provides a private home environment while encouraging pedestrian interaction. Contiguous open space and connective trails and sidewalk systems will link internal residential lots to community parks, open space corridors and outdoor amenities.

4-1 Architecture

A variety of building elevations are encouraged and each single family home should have a minimum two car garage. All residences should have exterior elevations, roofs and details that are coordinated and consistent in their architectural treatment. Exterior elevations should be designed to emphasize the site’s naturalistic character. Front and side yard porches are encouraged where applicable.

i. Building Massing

Three elevations per floor plan are required for all house plans that will be built in a repetitive manner, such as patio homes and/or cottages. Identical house plans should be spaced at an interval of every fourth lot.

Residential units built on corner lots should address both streets. Corner lots should be typically wider to accommodate the side yard setback along the street and allow for building articulation and side porches where appropriate. Wrap around porches are encouraged when applicable on corner lots, as well as enhanced side elevations. All ancillary structures such as garages and storage structures are to be designed as integral parts or extensions of the primary structure in terms of materials and colors.



ii. Roofs

Roofs will have a great impact on the overall visual impact of Pioneer Ranch, therefore roof forms should be carefully considered in the design phase of each residential building. Large unbroken expanses of single pitch roof are discouraged. A single main roof mass should be used in conjunction with complimentary minor roof forms and elements such as dormers, gable ends and eyebrows. Flat and mansard roofs should be used with modern interpretations of architecture. Overhangs and eaves should be appropriately detailed and proportioned to the architectural style of the building.

Roof materials are to reflect those of past architectural styles of the region. Composition asphalt shingles, concrete or clay tiles, natural metal roofing and textured shakes are encouraged when applicable. Materials should carry a minimum 25 year warranty and have a non-reflective surface. Roof colors should be coordinated with the architectural style of the building.

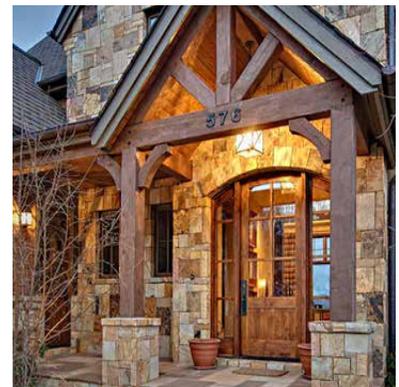
iii. Building Projections

The use of porches, balconies, courtyards, and patios for climate control and/or outdoor living and circulation is encouraged when applicable. These projections add interest to the overall character of the building. These elements should be designed as an integral element of the home by using compatible forms and materials, and should be appropriate to the architectural style. Bays and projections should have a minimum of three sides. They may cantilever or extend to the ground. If a projection is cantilevered, it should appear to be supported by substantial brackets appropriate to the size of the projection.

iv. Doors & Windows

Window type, composition and proportion are key elements that add character to the building façade. These design elements must compliment the architectural style of the home. Permitted window types include: double hung, single hung, casement, awning and fixed units. Permitted window materials include wood, metal, vinyl or vinyl clad and enameled metal.

Large expanses of undivided glass are strongly discouraged, unless it is in the vernacular of modern architecture. Otherwise, large openings should be divided through the use of mullions or ganging of smaller window units, keeping in character of the architectural style.



Exterior shutters should be sized and in proportion to the window opening if used. Specialty windows, such as arches or half rounds, circles, quarter rounds or diamonds should be limited to one per building unless approved by the PRRB. Corner window trim should be similar or lighter value than the main color of the structure.

v. Details

Architectural details are to be incorporated throughout each structure to meet or exceed building code requirements. While the building mass should express simple forms, the use of various materials and textures is encouraged to add interest and character to the building's identity. Attention should be paid to architectural details such as columns, brackets, corners, eaves, railings, doors and trim.

4-2 Single Family Attached Architecture

At least 2 different materials should be on the front elevation and any elevation visible from a street. Options could include brick, simulated or real stone, stucco, siding or other appropriate materials. The use of at least three different colors including trim, accent for front door and shutters (if selected), and base should be applied. A minimum of four color packages should be offered. No two adjacent houses may share the same color package.

Massing should be varied a minimum of 2 feet from the front setback of any house within two lots on either side. Permanent foundations shall be required and respond to the soil conditions on site. Use at least three distinct architectural elevations for each product.

Front yard irrigation and landscaping should be installed by the builder. Design should blend or complement the existing terrain and utilize indigenous, historically adaptable, low maintenance, hardy turf, plants and trees described in Section 5 Development Landscape.

4-3 Single Family Detached Architecture

At least 2 different materials should be used on the front elevation and any elevation visible from a street. Options include brick, simulated or real stone, stucco, siding or other appropriate materials. The use of more than one treatment for predominant siding is encouraged (ie. Vinyl, cedar, other).



Use at least three different colors including trim, accent for front door and shutters (if selected), and base. A minimum of four color packages should be offered. No three adjacent houses may share the same color package. Front yard irrigation and landscaping should be installed by the builder. Design should blend or complement the existing terrain and utilize indigenous, historically adaptable, low maintenance, hardy turf, plants and trees described in Section 5 Development Landscape.

4-4 Vehicular Access or Circulation

Primary vehicular entrances to neighborhoods should be enhanced as entrance gateways by incorporating design elements such as signage, accent paving, landscaping and lighting, architectural features, landscape features, landmarks or other monuments.



Section 5: Mixed Use:

The “Mixed Use” areas are intended to serve a range of users. Diversity of uses is encouraged throughout Pioneer Ranch, and mixing uses vertically within buildings is encouraged in all areas other than those designated residential only. Integrating different land uses and varied building types to create vibrant, pedestrian-friendly activity zones to establish development patterns (and options) for future development are encouraged and are part the strength behind these areas.

The planning approach is to provide accessible retail and multi-family residential opportunities introducing a diversity of uses on site at prime accessible locations. Pioneer Ranch is designed with specific planning areas to function as a viable mixed-use district with a compatible range of land uses including high density residential, business offices, community shopping retail spaces, public service facilities and public gathering spaces. These areas are located in close proximity to large collector streets where commercial areas and multi-family residential may thrive.

5-1 General Building Siting & Orientation

Buildings should be sited to respect landscaping, climatic conditions, street fronts, approaches, adjacent buildings and their views to and from the site. The use of deliberate changes in scale and character to foster intuitive distinctions and intentional flow between public, semi-public, and private spaces is encouraged. Adjacent buildings should be sited to create exterior spaces or rooms such as plazas, pedestrian pathways, and open landscaped areas where possible. Buildings on corners, intersections of streets or roadways shall orient towards the intersection and to the other buildings at the intersection to create a sense of place.

Site design should establish ‘character clues’ for site areas dedicated to passive and active forms of activity and recreation. For example, pedestrian access throughout the site by linking to adjacent sidewalks, pathways or transit stops when appropriate (unless grade changes are prohibitive) helps guide the resident to these nodes.



5-2 Architectural Design

All buildings within each district may vary according to user requirements, while maintaining the character established for the community. Unique building standards and thematic building materials shall be selected as the site development plans evolves. Thematic architectural design elements shall be incorporated within the elevation design.

All sides of the building open to view should display a similar level of quality and architectural interest. Windowless elevations should be discouraged where ever possible. Building design should incorporate textured surfaces, projections, recesses, shadow lines, color, window patterns, overhangs, eaves, changes in parapet height to avoid monolithic shapes and surfaces. Architectural features such as raised cornices, sloped roofs, domes, gables, bay windows and trellises shall be used to emphasize prominent building corners.

Detailing is required to reflect architectural style, and must include a mix of elements that respond to images of the various decades. An example of these accent materials could include granite, wrought iron, slate, glass, tile, marble, medal and others as appropriate.

Prohibited Exterior Finish Materials:

- Exposed, tilt-up concrete panels
- Painted Concrete Masonry Units
- Chain Link with or without slats
- T-111 siding
- Plain or painted plywood

A variety of roof lines, roof pitches and parapet heights incorporating changes or elements at a maximum of every sixty linear feet should be incorporated throughout the buildings. Building facades longer than fifty feet should employ techniques to provide additional interest and to break up the wall plane.

Horizontal alignment of architectural elements such as windows, sills, cornices banding should be incorporated consistently throughout all building structures. Roofs are to be prominent and a complimentary element of a building's architecture and should conform to the proposed building style. All types of roof forms are allowed to provide diversity in architectural styles and building character. Pitched roofs styles should be integrated into building architecture as typically characterized in each unique architectural period and style proposed. When appropriate,



pitched roofs should be used at entry features and other areas to add prominence. Acceptable commercial sloped roof materials include high quality architectural metal, concrete roof tiles, copper and zinc. The use of concrete shingles and standing seam metal roof are encouraged.

5-3 Commercial Uses

Where mixed-use residential and commercial uses occur in the same building, the ground floor should be predominately commercial in use. The building elevations shall reflect a commercial appearance for the ground floor and may even take on a two story appearance. Where residential uses occupy the ground floor, the entry or façade of the residential uses may be recessed up to 40 feet to create a courtyard opportunity. Storefront window height standards are to be above street level. Individual tenant storefront may be incorporated in between the bay opening when approved at the time of Site Plan review and approval.

5-4 Residential Uses

Pioneer Ranch seeks to encourage a variety of housing types, sizes and prices within the neighborhood to provide residents opportunity as their needs change. The following housing types are specified in the Zoning Regulations with their associated planning. When developed these areas shall compliment the theme of the community and architectural flavor of the surrounding structures.

i. Townhomes

Townhomes allow home ownership with reduced maintenance costs and responsibilities. When built with the front entrances along a street, they can provide for a highly attractive street frontage. Proposed designs should focus around building with homes facing a street or visible common space while maintaining a consistent approach to quality design and landscaping that follows the community theme.

The proposed layout should build residences with entrances on the street and locate parking to the rear of the buildings when possible. Certain desirable features can be used to ensure quality such as the use of durable materials, elevated street entrances (stoops), and a changing the plane of the front of the building often enough to avoid presenting a large blank wall to view.



Changes in the wall plane horizontally and vertically, proposing a variety of materials, and roof forms will ensure quality architecture to create interesting buildings. Each unit should have a private outdoor space; for example, balconies and porches are encouraged. Avoid aligning more than six garage doors in the same plane.

ii. Apartments

Apartments and condominiums provide an additional opportunity for renting or owning in a high-quality environment. Key architectural elements should include using a variety of design features and landscaping consistently, while creating common parking areas with multiple levels or mid-block parking structures (if warranted).

The layout should minimize the visibility of parking by locating it in attached garages, parking structures or by providing parking screened from the street by the building. There should be no exterior stairs or corridors unless they are designed to be an enhanced architectural feature. Main entries should face either a street or public amenity.

Certain desirable features can be used to ensure quality such as using durable materials, changing the plane of the front of the building often enough to avoid presenting a large blank wall to view, using changes in the wall planes both horizontally and vertically, proposing a variety of materials, complex roof forms, and quality architecture to create interesting buildings. Each residence should have an opportunity to use and outdoor space such as balconies and porches. Amenities that offer residents exercise, recreation or gathering places are also desirable features.

iii. Continuing Care (Independent and Assisted Living)

Continuing care provides for aging individuals with a variety of needs that change over time. Care delivery done in a single location so that the individual can remain in one place in an accommodating environment. Designs should propose quality landscaped grounds to meet social needs and physical limitations, and include amenities that offer residents exercise, recreation or gathering places.

Good walking connections to surrounding commercial uses, recreation, and services is desirable, as well as good



connections to public transportation. Designs should provide an efficient physical configuration that works to support continuing care operations, and offer safe, pleasant and direct walking connections to surrounding amenities, shopping, recreation, and services. Proposed designs should include quality landscaped grounds designed to meet social needs and physical limitations of residents.

5-5 General Conditions for Residential Uses

- At least two (2) different materials should be used on front elevation and any elevation visible from a public street. Options could include brick, simulated or real stone, stucco, siding, so more than one treatment for predominating siding (ie: vinyl, cedar, other) is used.
- Propose of at least three (3) different complimentary colors throughout the project.
- Indigenous Materials - Indigenous materials, historically found and widely used in Colorado throughout the past century are encouraged. Materials used should be environmentally responsible. Wall materials may be brick, stone (cultured or natural), stucco and limited metal panels.
- Roofs should be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles.
- No shake roofs should be permitted. All roofs should carry a 20-year minimum warranty.
- A minimum of two planes for the front elevation should be proposed.
- Porches: First floor porches should be elevated at least 18 inches above the sidewalk and facing the street.
- Sidewalk coverings: Canopies and colonnades providing sun, rain and snow protection to pedestrians are encouraged.
- Use deliberate changes in scale and character to foster intuitive distinctions and intentional flow between public, semi-public, and private spaces. Also use site design to establish 'character clues' for site areas dedicated to more passive and more active forms of activity and recreation.
- Buildings should have a four sided design. All sides of a building should display a similar level of quality and architectural interest.
- Entries should be emphasized with additional detailing
- Screening of mechanical units is required.



Pioneer Ranch

PARTS OF SECTION 34, 35 & 36, T 7S R67W AND PART OF SECTION 1, T8S
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